

1261/1263 Owen PI NE, Washington, DC 20002



1 SITE LOCATION PLAN
SCALE NONE

PROPERTY LOCATION



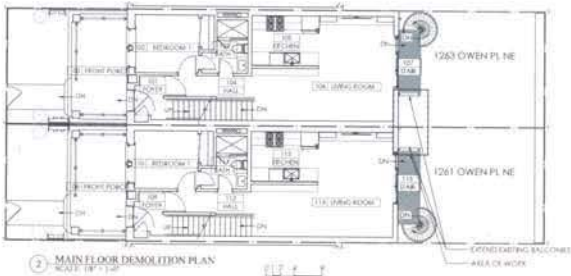
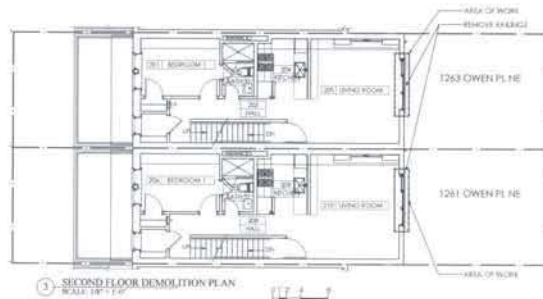
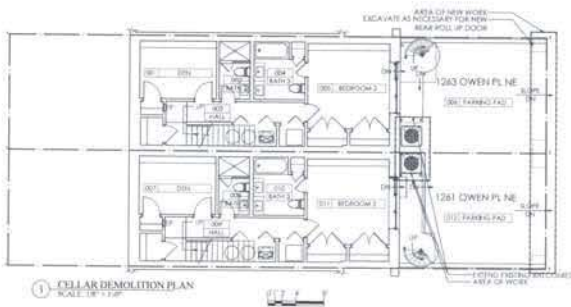
2 FRONT ELEVATION OF 1261 OWEN PLACE NE
SCALE NONE



3 FRONT ELEVATION OF 1263 OWEN PLACE NE
SCALE NONE

PROJECT DESCRIPTION	GENERAL INFO	ZONING INFO
RENOVATION & ADDITION: 1261 OWEN PI NE, WDC 20002 - PERMIT #81802241 1263 OWEN PI NE, WDC 20002 - PERMIT #81802240 CONSTRUCTION FOR BOTH PROJECTS WILL BE DONE SIMULTANEOUSLY.	OWNER: OWEN PLACE DEVELOPMENT, LLC 740 5TH ST NE WASHINGTON, DC 20002	TQUIRE: 4000 LOT: 0197 & 0198 EXIST. USE: RI-1 PROPOSED USE: RI-1 EXIST. LOT AREA: 1298.125 EXIST. LOT OCC.: 89.7% PROPOSED LOT OCC.: 64.2% MAX. LOT OCC.: 40%
EXTERIOR: ALTERATIONS TO REAR FACADE IN ORDER TO ADD A SHADING DEVICE ABOVE THE THIRD FLOOR SLIDING DOOR. BALCONIES AT THE 2ND AND 3RD FLOOR W/ A SPIRAL STAIR EXTENDING DOWN TO THE REAR YARD. ADD FOUR NEW COMPACT CAR PARKING SPACES AND A NEW STEEL ROLL-UP DOOR IN THE REAR YARD.	ARCHITECT: AGGREGATE, LLC 1308 17TH ST NW SUITE 200 WASHINGTON, DC 20001 PH: 202.289.0053	NOTE: ALL DIMENSIONS LISTED CORRELATE WITH THE DESIGN INTENTION. DO NOT SCALE DRAWINGS. IF ANY DIMENSIONS OR NOTES ARE IN QUESTION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.
BLA: RELIEF IS REQUESTED TO EXCEED THE 60% LOT COVERAGE (SUBTITLE E - 304.1) TO ATTAIN 64.2% WITH THE NEW BALCONIES & SPIRAL STAIR. TO INSTALL A STEEL ROLL-UP DOOR AT THE REAR PROPERTY LINE & ADD TWO BALCONIES AND A SPIRAL STAIR THAT WOULD ENDOACH INTO THE REQUIRED 20' REAR YARD (SUBTITLE E - 306.1) & TO SHOW TWO COMPACT CAR PARKING SPACES (SUBTITLE C - 712.2) ON EACH PROPERTY.	MEP ENGINEER: AJS CONSULTING ENGINEERS, P.C. 3131 MOUNT VERNON AVE ALEXANDRIA, VA 22305 P: 703.461.6080	STRUCTURAL & CIVIL ENGINEER: SHANDLER & ASSOC. 20210 Goldenrod Lane Suite 110 Germantown, MD 20876 PH: 301.948.5100
GENERAL NOTE: THESE DRAWINGS HAVE BEEN REDUCED FROM 24 X 36 TO 11 X 17. PLEASE REFER TO THE GRAPHIC SCALE ADJACENT TO DRAWINGS.	STRUCTURAL ENGINEER: CHE ENGINEERING GROUP, PLLC 1025 THOMAS JEFFERSON ST NW SUITE 400 EAST WASHINGTON, DC 20007 PH: 202.499.5588	
DRAWING INDEX	CODE REVIEW INFO.	
C-0001 COVER SHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX C-0002 PROPOSED SITE PLAN D-0001 DEMOLITION PLANS & NOTES A-0001 ARCHITECTURAL CELLAR & 1ST FLOOR PLANS, NOTES A-0002 ARCHITECTURAL 2ND & 3RD FLOOR PLANS, NOTES A-0003 ARCHITECTURAL ROOF PLAN, NOTES A-0004 ARCHITECTURAL REAR/SOUTH ELEVATIONS A-0005 ARCHITECTURAL SIDE/WEST ELEVATION A-0006 ARCHITECTURAL SIDE/EAST ELEVATION A-0007 ARCHITECTURAL SECTION A-0008 ARCHITECTURAL SECTION A-0009 ARCHITECTURAL SHEDDINGS A-0010 ARCHITECTURAL RENDERINGS	ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, & SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING AGENCIES INVOLVED. ALL PERMITS, LICENSES & INSURANCE NECESSARY FOR THE PROPER EXECUTION OF WORK SHALL BE SECURED & PAID FOR BY THE GENERAL CONTRACTOR. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 2012 INTERNATIONAL BUILDING CODE (IBC) W/ RELATED WDC ADDENDUM A & TOPPING REQUIREMENTS 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012 INTERNATIONAL MECHANICAL CODE (IMC) 2012 INTERNATIONAL PLUMBING CODE (IPC) 2012 NATIONAL ELECTRIC CODE (NEC)	
	BUILDING DATA	
	EXIST. BLDG.	PROP. ALTER.
RE OCCUPANCY CLASSIFICATION	R	R
TYPE OF CONSTRUCTION	V-A	V-A
NUMBER OF STORES ABOVE GRADE	3	3
FULLY SPRINKLERED	Y (TYPE 13-D)	Y (TYPE 13-D)
FLOOR AREA OF RENOVATION	-	-
FLOOR AREA OF HOUSE	2515.6	2515.6
FLOOR AREA OF ROOF DECK	N/A	186.12
FLOOR AREA OF REAR BALCONIES	45	131.94
aggregate architecture+design 1308 17TH ST NW, SUITE 200 WASHINGTON, DC 20001 Aggregate Architecture & Design, PLLC © 2019 This Drawing & its Specifications is provided as an instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on the project only. All designs, drawings, specifications, models, and presentations appearing herein constitute the original and copyrighted work (the property) of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.		
DATE: 08/14/19 DRAWN BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]		COVER C - 0001

Board of Zoning Adjustment
 District of Columbia
 CASE NO.20089
 EXHIBIT NO.14



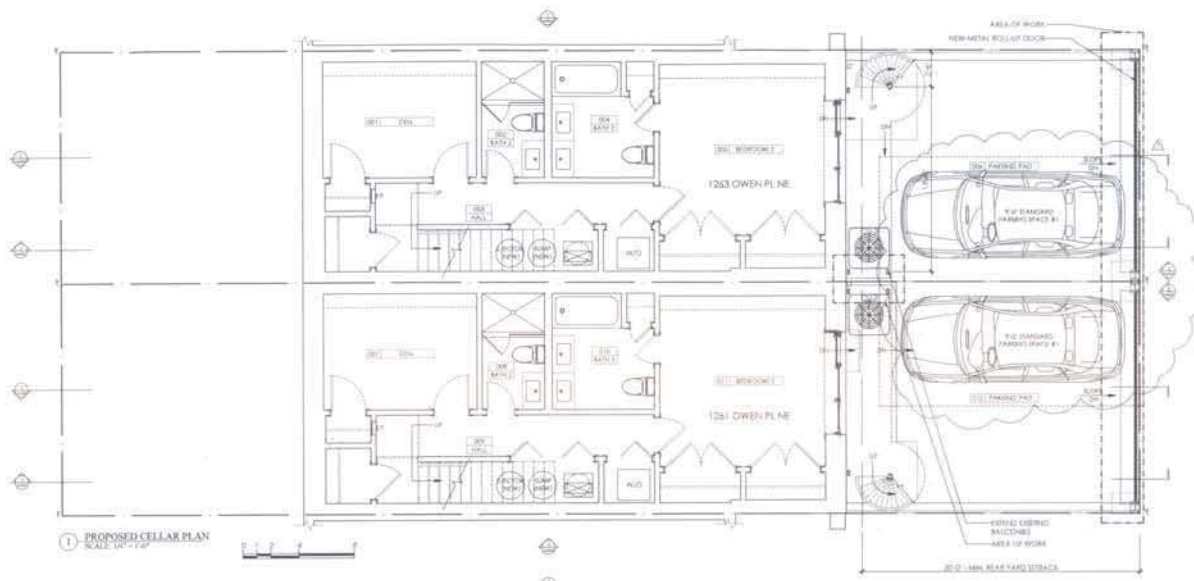
301 & 1263 OWEN PL. NE - COMMON DRAWINGS NOTE
 THE DRAWINGS & NOTES ON THIS PAGE ARE TYPICAL FOR BOTH 1261 & 1263 OWEN PLACE. BE PROVISIONAL. VERIFY IN FIELD ALL DIMENSIONS & ANY DIFFERENCES OR NOTES ARE BY QUESTION. REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.

GENERAL NOTES
DISBURSE & DEMOLITION
 1. The General Contractor shall be responsible for shoring and demolition work and shall clearly indicate the shoring and shoring plan to existing work.
 2. The General Contractor shall notify the architect or engineer immediately if any circumstances exist which affect the stability of the existing structure of the shoring.
 3. The General Contractor is responsible for installing, shoring and demolition work are permitted to continue until the 8:00 AM hour of work stopping work on demolition during performance.
 4. The General Contractor is responsible for maintaining the performance of the temporary shoring and for additional shoring modifications on site in the event of additional movement of the shoring.
 5. The General Contractor is responsible for the design, installation, maintenance and performance of all temporary shoring and shoring.
 6. All shoring, shoring and shoring contracts between the Contractor of the shoring system shall be provided to the responsibility of the General Contractor.

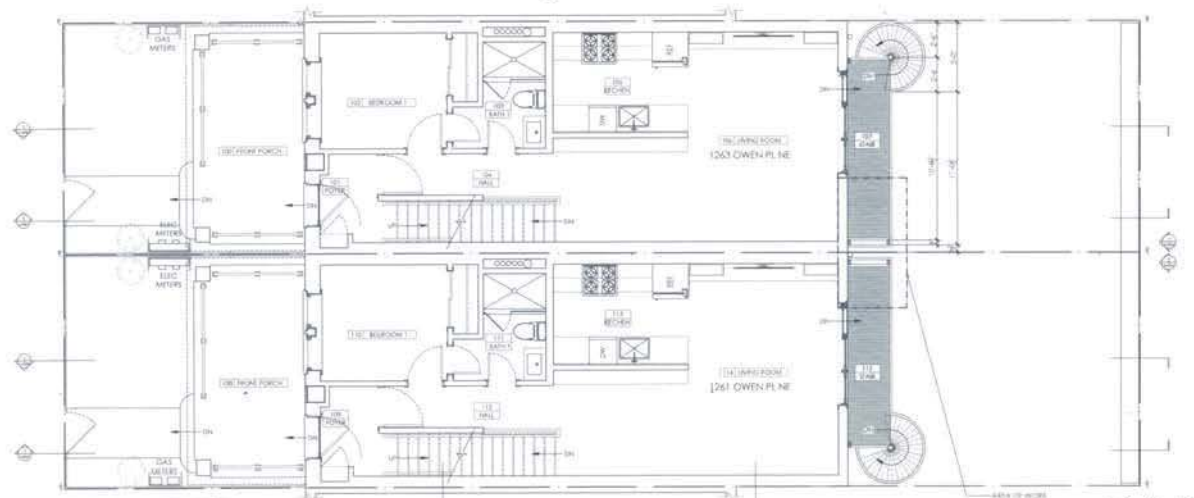
WALLS
 [Symbol] EXISTING WALL TO REMAIN
 [Symbol] TO BE DEMOLISHED

1261/1263 Owen Place, NE Washington, DC 20002

 1308 9th St NW, Suite 200 WASHINGTON, DC 20001 Aggregate Architecture & Design, PLLC © 2019 <small>The Drawing &/or Specifications is provided as an instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on this project only. All designs, drawings, specifications, models, and computer graphics regarding herein constitute the original and unpublished work (the property) of the Architect. Any reproduction, use, or disclosure of the foregoing information contained herein without the prior written consent of the Architect is strictly prohibited.</small>	SUBMISSION DATE 08.08.19	DEMOLITION PLANS D-0001
	LICENSEE'S THREE OCCURRENCES WERE PREPARED OR APPROVED AS ARCHITECTS BY THE DISTRICT OF COLUMBIA UNDER THE LAWS OF THE DISTRICT OF COLUMBIA, LICENSE NO. 83 C. 101147 DRAWN BY: WASHINGTON CHECKED BY: M PROJECT NO: 001408-001-00	



1 PROPOSED CELLAR PLAN
SCALE 1/8" = 1'-0"



2 PROPOSED MAIN FLOOR PLAN
SCALE 1/8" = 1'-0"



- TENANT REQUIREMENTS**
1. The Contractor shall arrange for all inspections and design owner's representation with the certificate of occupancy. General Contractor shall provide a base address list of names, addresses and phone numbers of all subcontractors and material suppliers.
 2. The Contractor shall be responsible for securing, purchasing and the delivery to the construction site of the items of the list of items and materials.
 3. General Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 4. General Contractor shall have access to the building's representative and may work into the specifications.
 5. The General Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 6. General Contractor shall provide the design and construction of all mechanical, electrical, and plumbing systems in accordance with the Mechanical, Electrical, and Plumbing Manual.
 7. General Contractor and all subcontractors shall warranty the work for a period of one (1) year from the date of final acceptance by Owner or tenant.
 8. The General Contractor shall provide the design and construction of all mechanical, electrical, and plumbing systems in accordance with the Mechanical, Electrical, and Plumbing Manual.

- PERMIT NOTES**
1. General Contractor shall provide permits as quickly as possible. Permit is to be approved by the District of Columbia Department of Public Works.
 2. All conditions shall be specified, signed and sealed by the District of Columbia Department of Public Works.
 3. All exterior corners of G.W.A. shall have round corner details.
 4. All raised dimensions are from face of stud wall.
 5. Provide listing of all door and glazing openings in accordance with manufacturer's specifications.
 6. Provide and label the structural steel framing of steel members where all hung columns, beams etc. will be installed. Provide clearances with adjacent structural members and provide with all steel to be acceptable per to fabrication.
 7. General Contractor shall coordinate above and below the installation of all penetrations. All penetrations and fire stops, sealed according to applicable codes.
 8. Notify your architect with Architect's permit to installation.
 9. All concrete work to be installed in 14 days (standard) quality level per per code. The design, detailing and fabrication of members shall be checked before accepting materials with a minimum of required time for curing.

- GENERAL NOTES**
1. This shall be the sole responsibility of the General Contractor to fully execute all existing structure on the project. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 2. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 3. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 4. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 5. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 6. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 7. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 8. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 9. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 10. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 11. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 12. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 13. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 14. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 15. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 16. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 17. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 18. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 19. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.
 20. The Contractor shall be responsible for the coordination of all on-site work and sign-off on the items of the list of items and materials.



1261/1263 Owen Place, NE Washington, DC 20002

1261 & 1263 OWEN PL. COMMENTS (REVISED) NOTES
THE DRAWINGS & NOTES ON THIS TAG ARE TYPICAL FOR BOTH 1261 & 1263 OWEN PLACE. IF PROPOSED VARIATIONS IN FIELD ALL DIMENSIONS & ANY DIMENSIONS OR NOTES ARE LISTED WITH ARCHITECT'S PRECEDENCE TO PRECEDING WITH OWNER.

aggregate
architecture+design
1308 15th St NW, Suite 200 | WASHINGTON, DC 20001
Aggregate Architecture & Design, PLLC © 2010
This Drawing & Note Specifications is provided as the instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on this project only. All design, drawings, specifications, models, and attachments representing herein constitute the original and copyrighted work (the property) of the Architect. Any reproduction, use, or distribution of the same for any other project without the written consent of the Architect is strictly prohibited.

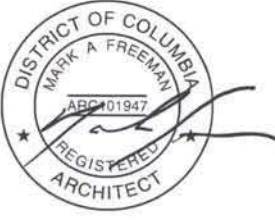
SUBMITTED: 08/20/10 BY: [Signature] DATE: 08/20/10 CHECKED BY: [Signature] DATE: 08/20/10 PROJECT NO: 2010-08-001	ARCHITECTURAL PLANS A-001
--	--



- TAKENOVER REQUIREMENTS**
- The Contractor shall arrange for all inspections and final owner's responsibilities with the certificate of occupancy. General Contractor shall provide a copy within 60 days of completion and provide phone numbers of all subcontractors and material suppliers.
 - The Contractor shall be responsible for having both units and the site cleared to the satisfaction of the Owner of the area of District and building installation and of function.
 - General Contractor shall be responsible for the coordination of all on-officers and light fixtures systems related to field conditions.
 - General Contractor to turn over all keys to the owner's representative and make work area be identified.
 - The General Contractor shall set all instruments on the Owner's requirements.
 - The General Contractor shall arrange for the operation of all mechanical systems in the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
 - General Contractor and all subcontractors shall maintain the work for a period of one (1) year from the date of final acceptance by Owner of finished work.
 - The General Contractor shall hold new keys in the HUC 24 hours before prior to turnover of the project.

- PARTY NOTES**
- General Contractor shall obtain permits as shown on drawings. Owner to be obtained by Architect before final plan review.
 - All additions shall be approved, signed and stamped against work by code jurisdiction.
 - All exterior corners of G.I.P. shall have metal corner bracing.
 - All interior dimensions are Nominals and shall be finished to match.
 - Finish marking of all doors and glass openings in accordance with manufacturer's requirements.
 - Finish and metal fix retention wood blocking or sheet metal where blocking is required, shall be installed. Verify proper placement with redaction, subcontractor or only as noted with Architect for appropriate code interpretation.
 - General Contractor shall coordinate, locate and secure use and location of all penetrations. All penetrations shall be protected according to applicable codes.
 - Verify clear underlayment with Architect prior to installation.
 - All Casework work to be installed to A.W. structural study level from in ground. This design, marking and fabrication of individual modules for structural and acoustical distribution with attention of exposed light blocking.
 - Area of work shall be marked with redaction.
 - New painted steel frame, steel.
 - New metal decking balcony.

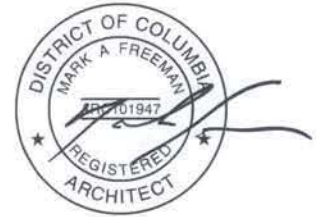
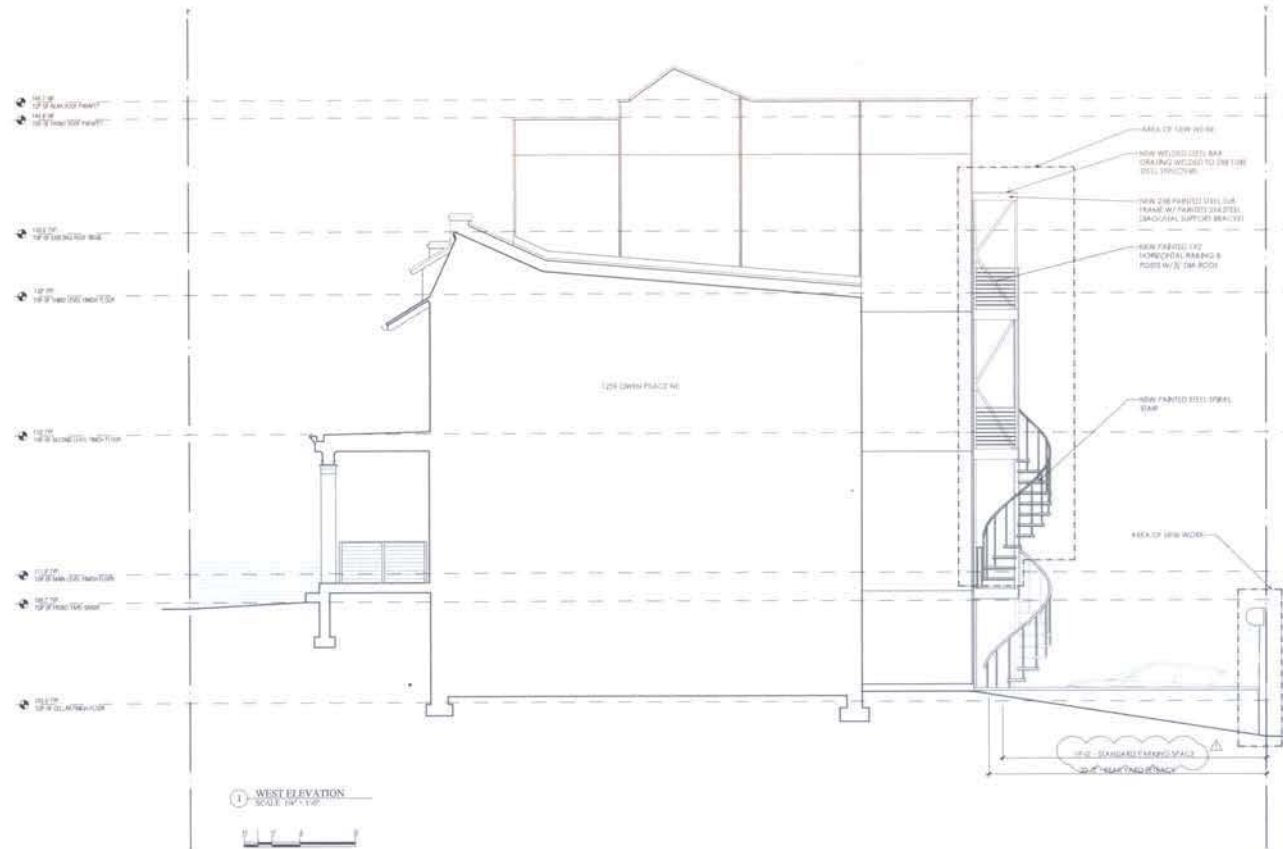
- GENERAL NOTES**
- It shall be the sole responsibility of the General Contractor to take care of all existing structure on the site prior to commencing the work. General Contractor shall verify the condition and status of the structure, mechanical, electrical, plumbing and other systems and shall be responsible for the repair, replacement, or upgrading of any and all deficiencies between existing conditions and those drawings. General Contractor shall be the sole responsibility of the General Contractor and all subcontractors and suppliers of materials to secure all necessary approvals to same as required for the respective work prior to commencing. Commencement of work shall be subject to the work of the project. No claims for additional compensation shall be made or shall be valid unless written authorization is received by the owner's representative and the additional compensation is obtained in advance of proceeding with the work.
 - Commencement of work shall be subject to the work of the project. No claims for additional compensation shall be made or shall be valid unless written authorization is received by the owner's representative and the additional compensation is obtained in advance of proceeding with the work.
 - All work shall be performed in accordance with all governing codes, ordinances, regulations, codes and standards being issued. The work shall conform to all governmental and professional permits and approvals as required.
 - All work shall be performed in a safe manner and shall be in good and stable condition at the time of completion thereof.
 - Contractors are required to give the Owner a minimum of 72 hours notice of non-attendance on the job site and to be available for all work.
 - Owner's Representative shall be notified of any contractor initial approval to be installed, any materials, equipment or services within the building.
 - All work shall be completed by the project and completion. Subcontractors or Materialmen are not permitted to perform any work unless they are properly authorized or authorized by the project.
 - In construction materials and materials shall be placed in any of the Owner's work in accordance with the construction of any time. The Contractor shall arrange for the purchase of a final inspection, size and location of which is subject to owner's approval for the removal of waste.
 - The substitution of "BICC" includes work and/or materials not in the contract of the General Contractor however this does not include the General Contractor of the responsibility of coordination.
 - Repair of damage or work on existing conditions to any of the property to the original condition. Project adjacent areas from dirt and dust.
 - All construction work shall be in accordance with the drawings and shall be in accordance with the drawings.
 - All work shall be in accordance with the drawings and shall be in accordance with the drawings.
 - The location of existing utilities shall be in accordance with the drawings and shall be in accordance with the drawings.
 - The name "Owner" shall refer to OWEN PLACE DEVELOPMENT, LLC and its agents or representatives. The name "General Contractor" shall refer to the person and/or persons who have contracted or subcontracted for the work.
 - The Contractor shall provide the articulated and braced structure as described and detailed and shall be responsible for securing, erecting and bracing the structure in good condition, until a proper stability and shall verify the stability of any structure. All parts of the work shall be in accordance with the drawings and shall be in accordance with the drawings. Code of safety shall be followed and shall be followed by the Contractor and shall be followed by the Contractor.
 - General Contractor shall ensure that the Contractor is in good condition, until a proper stability and shall verify the stability of any structure. All parts of the work shall be in accordance with the drawings and shall be in accordance with the drawings.
 - In addition to the General Contractor's name, A.A. document A-002 General Conditions of contract for construction shall apply.
 - General Contractor to provide all additional work of their materials or as required by the construction manager.
 - General Contractor to provide the same provided that all forms are:




1261/1263 Owen Place, NE Washington, DC 20002

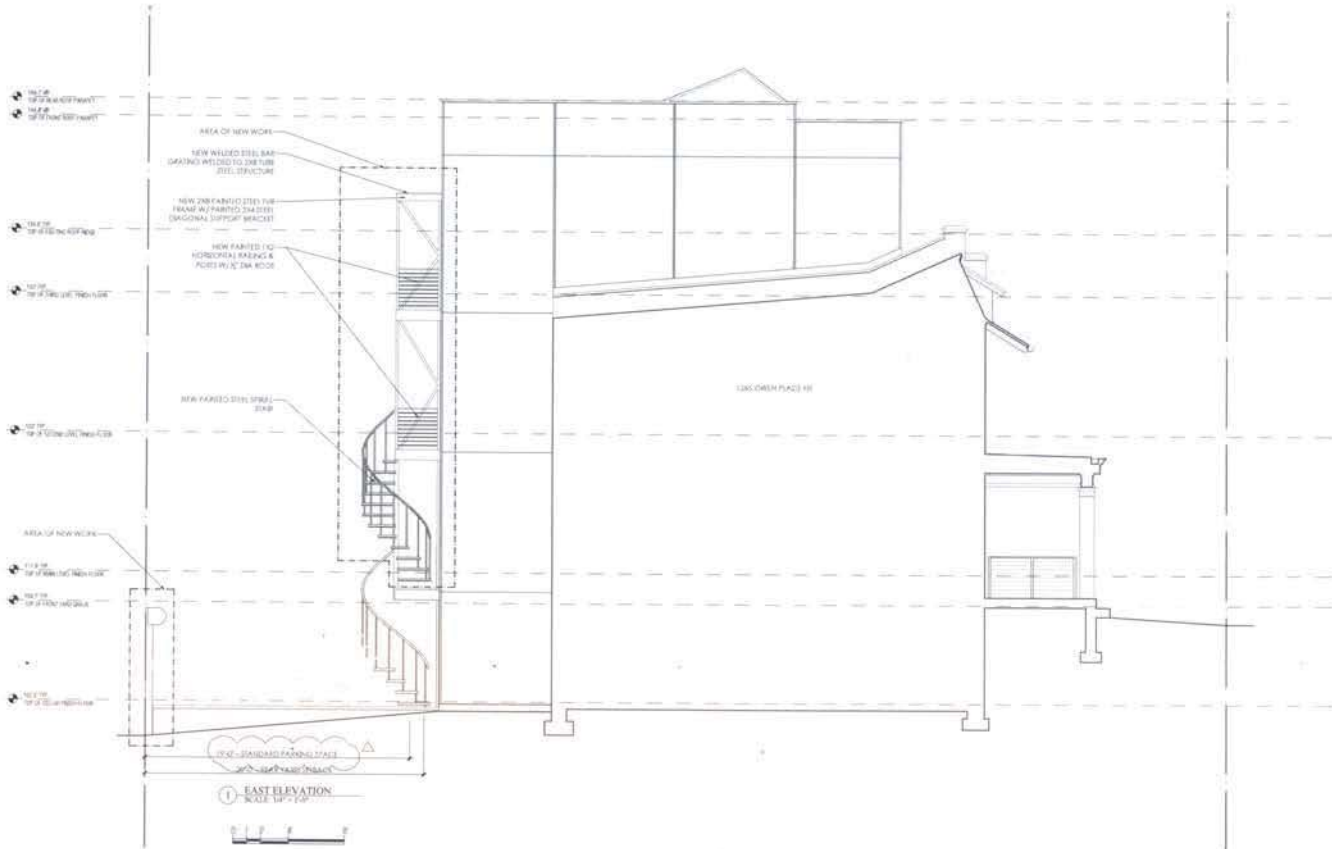
1261 & 1263 OWEN PL. NE - COMMONS DRAWING NOTE
THE DRAWINGS & NOTES ON THIS PAGE ARE TYPICAL FOR BOTH 1261 & 1263 OWEN PLACE NE PROJECTS. VERIFY IN FIELD ALL DIMENSIONS & ANY DIMENSIONS OR NOTES ARE IN QUOTES IN ORDER WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.

<p>Aggregate Architecture & Design, PLLC © 2019 1308 9th St NW Suite 200 WASHINGTON DC 20001</p>	<p>DATE: 08.04.19</p>	<p>ARCHITECTURAL PLANS</p> <p>A-0002</p>
	<p>PROJECT: 1261/1263 OWEN PLACE NE WASHINGTON DC</p>	




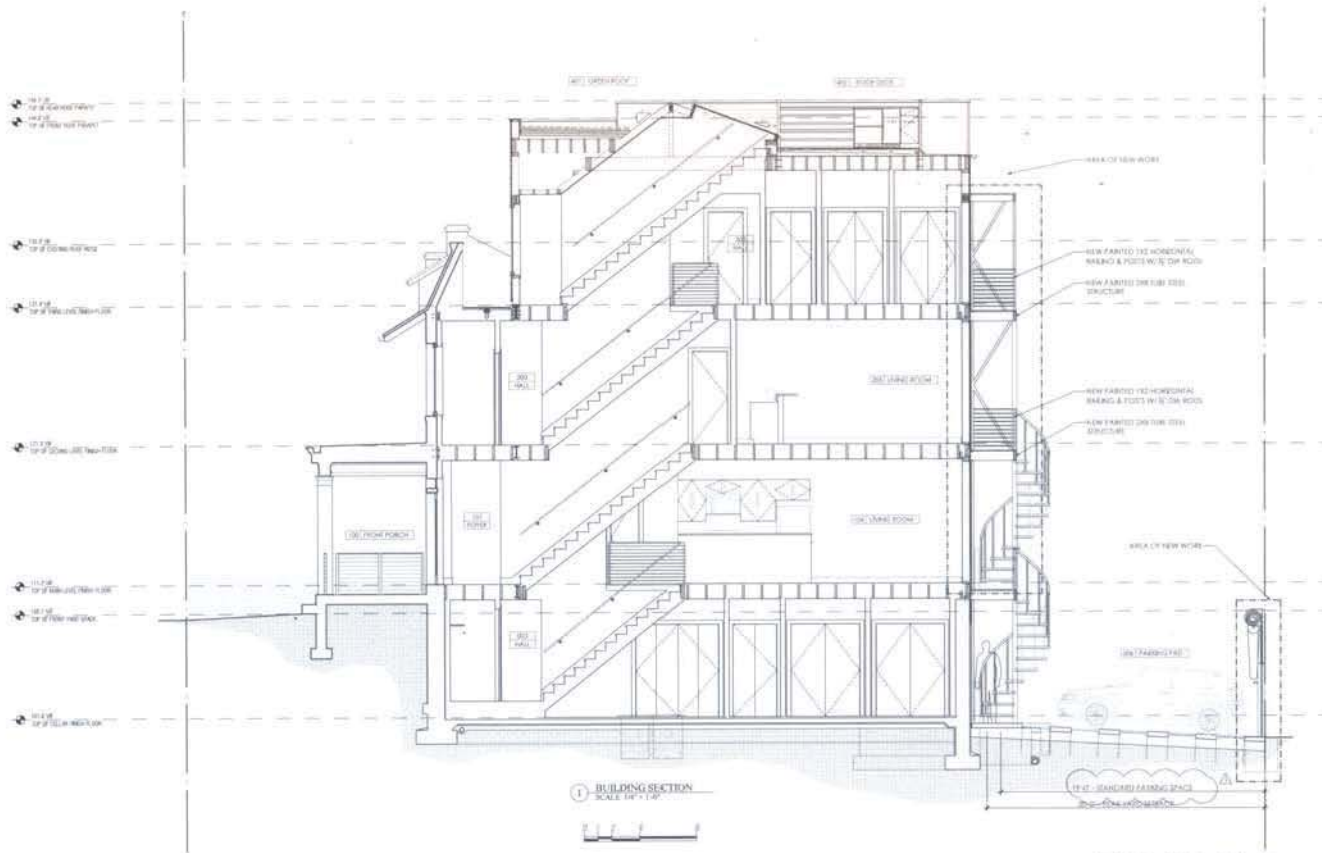
1261/1263 Owen Place, NE Washington, DC 20002

 <p>1308 1/2 D 1st St, Suite 200 Washington, DC 20001</p> <p>Aggregate Architecture & Design, PLLC © 2019</p> <p><small>This Drawing &/or Specifications is provided as an instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on the project only. All design, drawings, specifications, notes, and correspondence bearing thereon are the property of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.</small></p>	<p>SUBMISSION DATE</p> <p>NOV 12 2019</p> <p>REV 1 01.30.19</p> <p>DATE PREPARED OR APPROVED BY</p> <p>MARK A. FREEMAN</p> <p>DATE OF ISSUE</p> <p>01.30.19</p> <p>PROJECT NO.</p> <p>1261/1263 OWEN PLACE</p> <p>DATE</p> <p>01.30.19</p> <p>PROJECT NAME</p> <p>1261/1263 OWEN PLACE</p>	<p>EXTERIOR ELEVATION</p>
	<p>A-0005</p>	



1261/1263 Owen Place, NE Washington, DC 20002

 <p>Aggregate Architecture & Design, PLLC © 2019 1308 9th St NW, Suite 200 WASHINGTON, DC 20001</p>	<p>DATE: 08/20/19 DRAWN BY: [Signature] CHECKED BY: [Signature] PROJECT NO: 2019-08-001</p>	<p>EXTERIOR ELEVATION</p>
	<p>Aggregate Architecture & Design, PLLC © 2019 This Drawing &/or Specifications is provided as an instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on this project only. All designs, drawings, specifications, models, and arrangements appearing herein constitute the original and confidential work of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.</p>	<p>A-0006</p>



1261/1263 Owen Place, NE Washington, DC 20002

<p>aggregate architecture+design 1008 17th St NW, Suite 200 - WASHINGTON, DC 20001</p> <p>Aggregate Architecture & Design, PLLC © 2019 This drawing, along with specifications is provided as an instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on this project only. All designs, drawings, specifications, notes, and arrangements appearing herein constitute the original and unpublished work (the property) of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.</p>	<p>DATE: 08/14/2019 BY: MAF CHECKED BY: MAF DATE: 08/14/2019</p>	<p>BUILDING SECTION</p>
	<p>A-0007</p>	